

Annexure A - Clause 4.6 Variation Request
Residential Flat Building at Nos.62-64 Cross Street, Guilford
Clause 4.3 – Height of Buildings

1. Building height control

Clause 4.3 (2) of Parramatta Local Environmental Plan 2011 (PLEP 2011) relates to the maximum building height requirements and refers to the *Height of Buildings Map*. The relevant map identifies the building height controls that apply to the site as shown in the extract of the map in Figure 1 (with the subject site outlined in red). A maximum building height of 11m applies to the site.

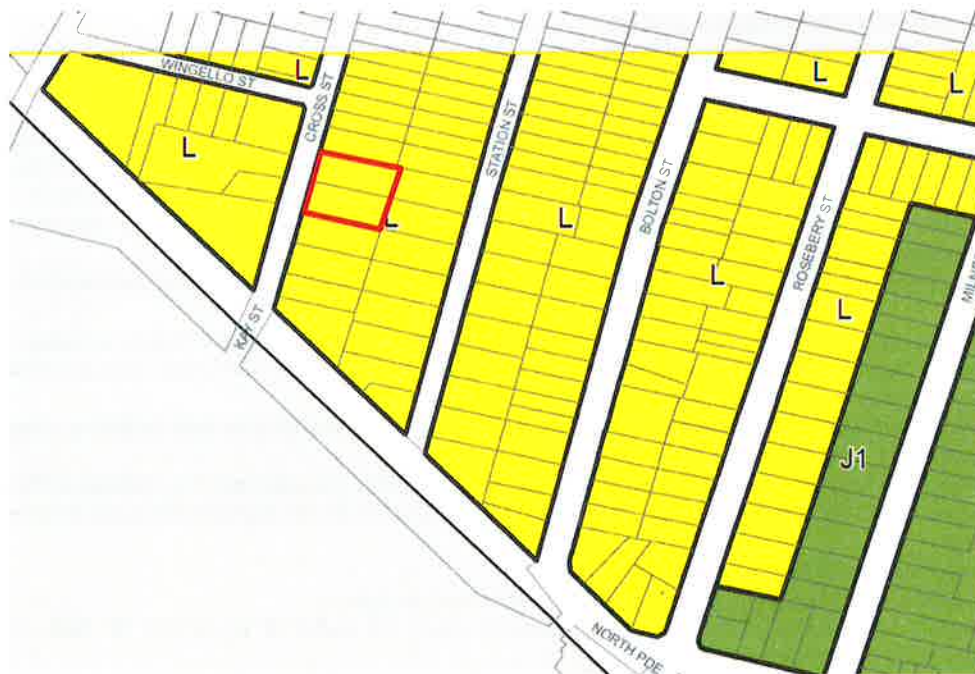


Figure 1: Extract from Height of Buildings Map to PLEP 2011 (L = 11m)

Building height is defined in PLEP 2011 as:

- “ **building height (or height of building)** means:
- (a) in relation to the height of a building in metres—the vertical distance from ground level (existing) to the highest point of the building, or
 - (b) in relation to the RL of a building—the vertical distance from the Australian Height Datum to the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like..”

The maximum building height control is a “development standard” to which exceptions can be granted pursuant to clause 4.6 of the LEP.

2. Proposed Variations to Maximum Building Height

The development application proposes the construction of a residential flat building. The height of the building is compliant with the 11m height control with the exception of the lift overrun located in the centre of the western section of the building and the south eastern roof parapet of the eastern section of the building.

The lift overrun is a maximum height of 13.431m, and therefore exceeds the maximum height limit by 2.431m which is a variation to the control equivalent to 22.1%. The south eastern roof parapet is a maximum height of 11.4m and therefore exceeds the maximum building height limit by 400mm, which is a variation to the control equivalent to 3.6%.

3. Clause 4.6 to PLEP 2011

The objectives and provisions of clause 4.6 to PLEP 2011 are as follows:

" 4.6 Exceptions to development standards

- (1) The objectives of this clause are as follows:
 - (a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,
 - (b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.
- (2) Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.
- (3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:
 - (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and
 - (b) that there are sufficient environmental planning grounds to justify contravening the development standard.
- (4) Development consent must not be granted for development that contravenes a development standard unless:
 - (a) the consent authority is satisfied that:
 - (i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and
 - (ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and
 - (b) the concurrence of the Secretary has been obtained.
- (5) In deciding whether to grant concurrence, the Secretary must consider:
 - (a) whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and
 - (b) the public benefit of maintaining the development standard, and
 - (c) any other matters required to be taken into consideration by the Secretary before granting concurrence.
- (6) Development consent must not be granted under this clause for a subdivision of land in Zone RU1 Primary Production, Zone RU2 Rural Landscape, Zone RU3 Forestry, Zone RU4 Primary Production Small Lots, Zone RU6 Transition, Zone R5 Large Lot Residential, Zone E2 Environmental Conservation, Zone E3 Environmental Management or Zone E4 Environmental Living if:
 - (a) the subdivision will result in 2 or more lots of less than the minimum area specified for such lots by a development standard, or
 - (b) the subdivision will result in at least one lot that is less than 90% of the minimum area specified for such a lot by a development standard.
- (7) After determining a development application made pursuant to this clause, the consent authority must keep a record of its assessment of the factors required to be addressed in the applicant's written request referred to in subclause (3).
- (8) This clause does not allow development consent to be granted for development that would contravene any of the following:
 - (a) a development standard for complying development,
 - (b) a development standard that arises, under the regulations under the Act, in connection with a commitment set out in a BASIX certificate for a building to which State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 applies or for the land on which such a building is situated,
 - (c) clause 5.4,
 - (ca) a development standard that relates to the height of a building, or a floor space ratio, in Parramatta City Centre (as referred to in clause 7.1 (1)) by more than 5%."

The development standards in clause 4.3 are not “expressly excluded” from the operation of clause 4.6.

Objective 1(a) of clause 4.6 is satisfied by the discretion granted to a consent authority by virtue of subclause 4.6(2) and the limitations to that discretion contained in subclauses (3) to (8). This request addresses the requirements of subclauses 4.6(3) and 4.6(4) in order to demonstrate to the consent authority that the exception sought is consistent with the exercise of “an appropriate degree of flexibility” in applying the development standard, and is therefore consistent with objective 1(a). In this regard, the extent of the discretion afforded by subclause 4.6(2) is not numerically limited, in contrast with the development standards referred to in subclause 4.6(6).

Objective 1(b) of clause 4.6 is addressed later in this request.

The objectives of clause 4.3 to PLEP 2011 for building height control are as follows, *inter alia*:

- “(a) to nominate heights that will provide a transition in built form and land use intensity within the area covered by this Plan,*
- (b) to minimise visual impact, disruption of views, loss of privacy and loss of solar access to existing development,*
- (c) to require the height of future buildings to have regard to heritage sites and their settings,*
- (d) to ensure the preservation of historic views,*
- (e) to reinforce and respect the existing character and scale of low density residential areas.*
- (f) to maintain satisfactory sky exposure and daylight to existing buildings within commercial centres, to the sides and rear of tower forms and to key areas of the public domain, including parks, streets and lanes.”*

It is hereby requested that an exception to this development standard be granted pursuant to clause 4.6 so as to permit the maximum building heights as described in Section 2 above.

In order to address the requirements of subclause 4.6(4)(a)(ii), the objectives (a) to (c) of clause 4.3 are addressed in turn below. Objective (d) is not relevant to the proposal as the site is not within a historic view corridor and is not part of an area identified as having historic views or scenic value. Objective (e) is not relevant to the proposal because the site is not within a low density residential area and the adjoining residential zone to the east is Zone R3 Medium Density Residential. Objective (f) is not relevant to this proposal as the site is not within a commercial centre.

Objective (a): “to nominate heights that will provide a transition in built form and land use intensity within the area covered by this Plan”

The minor non-compliance with the maximum building height control of 11m does not prevent the achievement of a transition between building heights on surrounding land. As shown in Figure 1 the building height controls for all surrounding land is 11m and there is no transition in height sought in the planning controls that apply to redevelopment of the subject site and surrounds.

Objective (b): “to minimize visual impact, disruption of views, loss of privacy and loss of solar access to existing development”

There are no existing views to or from the site or across the site from adjoining land and accordingly the proposed minor variation to maximum building height will not disrupt views.

The revised scheme has lowered the building height overall and therefore issues of amenity are further improved notwithstanding minor numerical non-compliance.

Overall the shadow impacts of the proposal are to be reasonably expected as the area undergoes a transition from low density to high density residential development.

Therefore the proposal meets Objective (b).

Objective (c): "to require the height of future buildings to have regard to heritage sites and their settings"

The Statement of Heritage Impact originally submitted with the development application concluded that the proposal had an acceptable impact to both nearby heritage items at No. 55 and No.66 Cross Street. Therefore, the revised scheme which has lowered the building height will continue to be compatible with the likely future context and setting of the listed heritage items and will not detract from the heritage significance of the buildings.

The non-compliant section of the roof parapet and lift overrun do not create opportunities for overlooking, and the lift is essential for accessible vertical circulation throughout the building.

In summary, the height of the proposal will have no detrimental environmental impact and will not be detrimental to the amenity of the site and surrounding properties. The proposed building height is mostly compliant with the height control and the sections of the building which require minor variations to the height control will be consistent with the relevant objectives for controlling building height. The majority of the parapet and rooftop terrace surface of the building are below the 11m height limit. The proportion of the building which is non-compliant is a minor section of the lift overrun which does not add to the overall bulk and scale of the building as viewed from the adjoining public streets and from most neighbouring properties and therefore the building dimensions will be compatible with the desired existing and future character of a high density residential neighbourhood.

Clause 4.6 (4) also requires consideration of the relevant zone objectives. The objectives for development in Zone R4 High Density Residential are as follows:

- "• To provide for the housing needs of the community within a high density residential environment.*
- To provide a variety of housing types within a high density residential environment.*
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- To provide opportunity for high density residential development close to major transport nodes, services and employment opportunities.*
- To provide opportunities for people to carry out a reasonable range of activities from their homes if such activities will not adversely affect the amenity of the neighbourhood."*

The proposal is consistent with the zone objectives in that it will provide additional higher density housing close to major public transport routes and accessible to employment opportunities. The proposal includes dwellings of various sizes, layout and orientation. The site is within walking distance to high frequency service public buses and trains, the commercial services available at Guildford centre and it is less than 30 minutes travel time to Parramatta CBD using public transport. Home employment can be conducted from the proposed apartments without development consent. For these reasons the proposal meets the relevant objectives for development in Zone R4 and the partial non-compliance with the height control does not prevent the development from meeting the objectives of the zone.

4. Sufficient Environmental Planning Grounds

Having regard to Clause 4.6(3)(b) and the need to demonstrate that there are sufficient environmental planning grounds to justify contravening the development standard, the assessment of the numerical non-compliance is guided by the recent decision of the NSW LEC *Four2Five Pty Ltd v Ashfield Council* [2015] NSWLEC 90 whereby Justice Pain ratified the decision of Commissioner Pearson.

There are positive impacts of providing a covered all-weather lift access to the communal rooftop area. The lift access enables an accessible path of travel. The rooftop location is the most appropriate position for communal open space suited for year-round passive recreation. Rooftop common open space is spatially separated from neighbouring properties and is a large consolidated area with unobstructed solar access for year-round use. Roof top terraces are highly appropriate in a high density residential locality. Ground level communal open space in the central courtyard is primarily for movement space, landscaping, solar access and natural ventilation within the site and for achieving a solar access corridor for the neighbouring child care centre. The roof top terrace is wholly available for outdoor passive recreation and social interaction of residents and provides a very different quality of space to the ground level communal open space area. Both areas of communal open space contribute positively to the amenity of future residents and their visitors as well as create outdoor spaces compatible with the amenity of neighbouring properties.

The minor non-compliant section of the roof parapet is located at the south east corner of the building and the variation is no more than 400mm which will be imperceptible in the overall scale of the completed building. The minor non-compliance makes a contribution to the shadow cast by the building which is also of minimal significance in the overall shadow to be cast by the building.

On "planning grounds" and in order to satisfy that the proposal meets objective 1(b) of clause 4.6 in that allowing flexibility in the particular circumstances of this development will achieve "a better outcome for and from development", the non-compliance relates to the lift and stair access at the roof top and a minor section of the parapet. The remainder of the building is compliant with the maximum height control. The building overall is compatible with the streetscape and the evolving character of the neighbourhood.

Strict compliance would be counterproductive in terms of the amenity and accessibility for future residents to high quality outdoor communal space and have no benefit in terms of streetscape and impacts to neighbouring properties.

The merits of the proposal on "environmental planning grounds" need to be balanced with the burden that strict compliance places on the proposal and whether strict compliance will result in a better or neutral outcome. The development has been designed to provide a high quality urban outcome with a highly useable roof top communal open space area compatible with the privacy and amenity of neighbouring properties. Insisting on strict compliance in this instance would result in a deletion of the lift access to the rooftop terrace. This would prevent an accessible path of travel and all-weather access to the communal open space which is an inequitable and inconvenient outcome for future residents and their visitors.

Insisting on strict compliance for the south east corner of the parapet will have an imperceptible impact on the potential shadow cast by the building and will not change visual and aural privacy or the aesthetics of the building as viewed from surrounding properties and the street.

To require strict compliance would therefore result in an unreasonable burden on the development with no demonstrable built form or amenity benefits. As such the proposal results in a high quality residential development which is suited to the site and its context.

5. Insistence on Compliance is Unreasonable and Unnecessary

Returning to Clause 4.6(3)(a), in *Wehbe V Pittwater Council (2007) NSW LEC 827* Preston CJ sets out ways of establishing that compliance with a development standard is unreasonable or unnecessary. It states, inter alia:

" An objection under SEPP 1 may be well founded and be consistent with the aims set out in clause 3 of the Policy in a variety of ways. The most commonly invoked way is to establish that compliance with the development standard is unreasonable or unnecessary because the objectives of the development standard are achieved notwithstanding non-compliance with the standard."

The judgement goes on to state that:

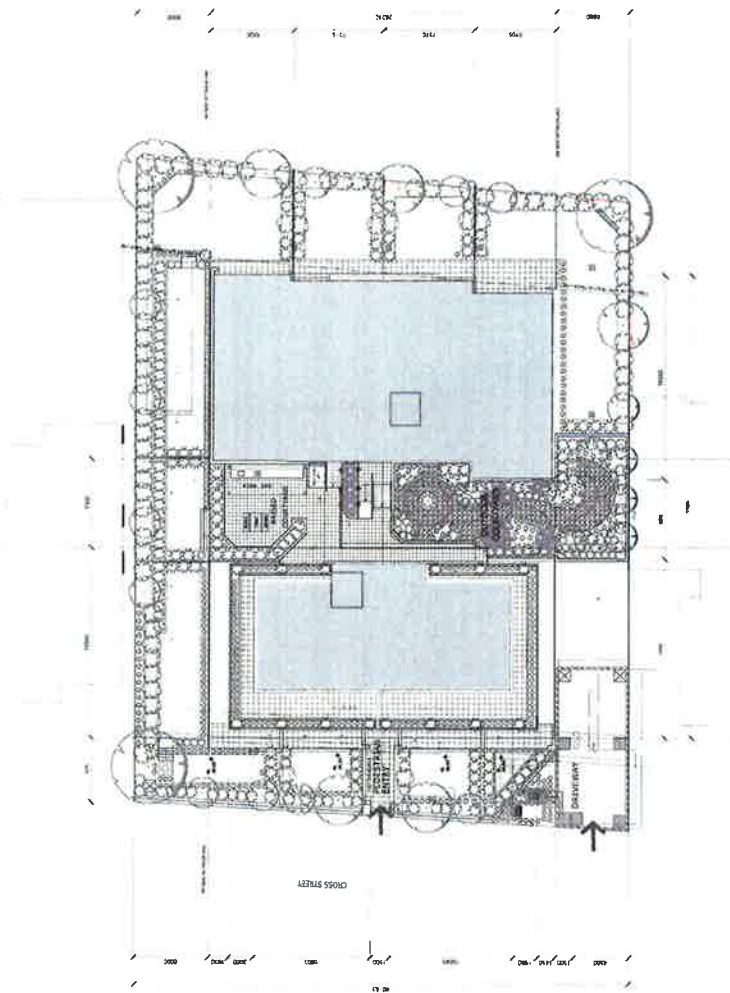
" The rationale is that development standards are not ends in themselves but means of achieving ends. The ends are environmental or planning objectives. Compliance with a development standard is fixed as the usual means by which the relevant environmental or planning objective is able to be achieved. However, if the proposed development proffers an alternative means of achieving the objective strict compliance with the standard would be unnecessary (it is achieved anyway) and unreasonable (no purpose would be served)."

Preston CJ in the judgement then expressed the view that there are 5 different ways in which an objection may be well founded and that approval of the objection may be consistent with the aims of the policy, as follows (with emphasis placed on number 1 for the purposes of this Clause 4.6 variation [our underline]):

1. The objectives of the standard are achieved notwithstanding non-compliance with the standard;
2. The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary;
3. The underlying object of purpose would be defeated or thwarted if compliance was required and therefore compliance is unreasonable;
4. The development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable;
5. The zoning of the particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning is also unreasonable and unnecessary as it applies to the land and compliance with the standard that would be unreasonable or unnecessary. That is, the particular parcel of land should not have been included in the particular zone.

Having regard to all of the above, it is our opinion that strict compliance with the maximum height development standard for the entire building is unnecessary in the circumstances of this case as the development meets the relevant objectives of that standard and the zone objectives. Furthermore the non-compliance relates to the lift overrun and south east corner of the parapet only. The majority of the building is compliant with the height of building control.

Therefore, insistence upon strict compliance with that standard would be unreasonable. On this basis, the requirements of clause 4.6(3) are satisfied.



SITE PLAN
Scale: 1:200

Handwritten notes and specifications for the site plan, including details about the building footprint and surrounding areas.

Item	Area (m²)	Volume (m³)	Weight (kg)	Value (\$)
1.00	100.00	100.00	100.00	100.00
2.00	200.00	200.00	200.00	200.00
3.00	300.00	300.00	300.00	300.00
4.00	400.00	400.00	400.00	400.00
5.00	500.00	500.00	500.00	500.00
6.00	600.00	600.00	600.00	600.00
7.00	700.00	700.00	700.00	700.00
8.00	800.00	800.00	800.00	800.00
9.00	900.00	900.00	900.00	900.00
10.00	1000.00	1000.00	1000.00	1000.00

Item	Area (m²)	Volume (m³)	Weight (kg)	Value (\$)
1.00	100.00	100.00	100.00	100.00
2.00	200.00	200.00	200.00	200.00
3.00	300.00	300.00	300.00	300.00
4.00	400.00	400.00	400.00	400.00
5.00	500.00	500.00	500.00	500.00
6.00	600.00	600.00	600.00	600.00
7.00	700.00	700.00	700.00	700.00
8.00	800.00	800.00	800.00	800.00
9.00	900.00	900.00	900.00	900.00
10.00	1000.00	1000.00	1000.00	1000.00

Item	Area (m²)	Volume (m³)	Weight (kg)	Value (\$)
1.00	100.00	100.00	100.00	100.00
2.00	200.00	200.00	200.00	200.00
3.00	300.00	300.00	300.00	300.00
4.00	400.00	400.00	400.00	400.00
5.00	500.00	500.00	500.00	500.00
6.00	600.00	600.00	600.00	600.00
7.00	700.00	700.00	700.00	700.00
8.00	800.00	800.00	800.00	800.00
9.00	900.00	900.00	900.00	900.00
10.00	1000.00	1000.00	1000.00	1000.00

[illegible]

[illegible]

Description of project

The tables below summarise the overview and the common terms within the project

Handicapped facilities - 43-44 Street, Bl. 91 (entrance), 4 stories above ground

Common areas of unit buildings - 82-84 Gross sq

[illegible]

Contributors for *Research and Technology - Solid State*:

- (a) Neodymium
 - (i) Water
 - (ii) Energy
- (b) Thermal Control
 - (i) Thermal Control
 - (ii) Thermal Control
- (c) Control Systems and Energy Systems/Thermal
 - (i) Water
 - (ii) Energy

Contributors for *Non-Isotopic Nuclear*:

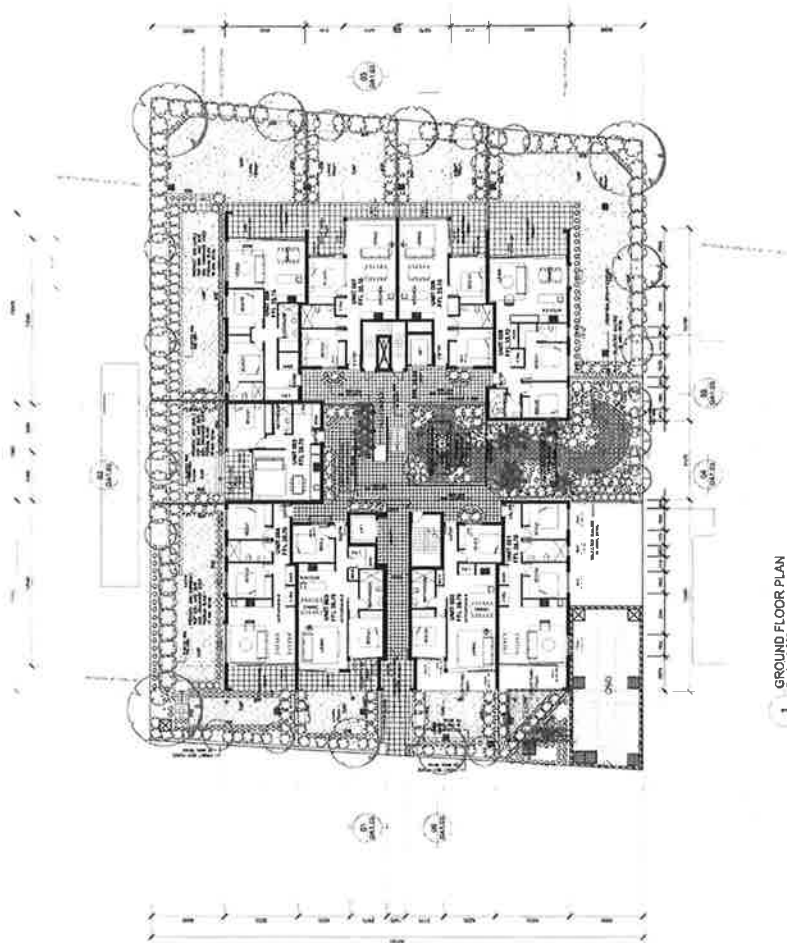
- Contributors for *Design/Engineering Issues*
- Contributors for *Materials Issues and Energy Systems/Thermal Issues*
- (i) Water

No comparisons let out either indicate how the proposed development is to be carried out, it is a condition of any development consent granted, or compelling information available to the public.

[illegible]

Q	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	810	811	812	813	814	815	816	817	818	819	820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843	844	845	846	847	848	849	850	851	852	853	854	855	856	857	858	859	860	861	862	863	864	865	866	867	868	869	870	871	872	873	874	875	876	877	878	879	880	881	882	883	884	885	886	887	888	889	890	891	892	893	894	895	896	897	898	899	900	901	902	903	904	905	906	907	908	909	910	911	912	913	914	915	916	917	918	919	920	921	922	923	924	925	926	927	928	929	930	931	932	933	934	935	936	937	938	939	940	941	942	943	944	945	946	947	948	949	950	951	952	953	954	955	956	957	958	959	960	961	962	963	964	965	966	967	968	969	970	971	972	973	974	975	976	977	978	979	980	981	982	983	984	985	986	987	988	989	990	991	992	993	994	995	996	997	998	999	1000
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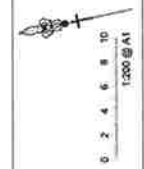


1 GROUND FLOOR PLAN
Scale: 1:200

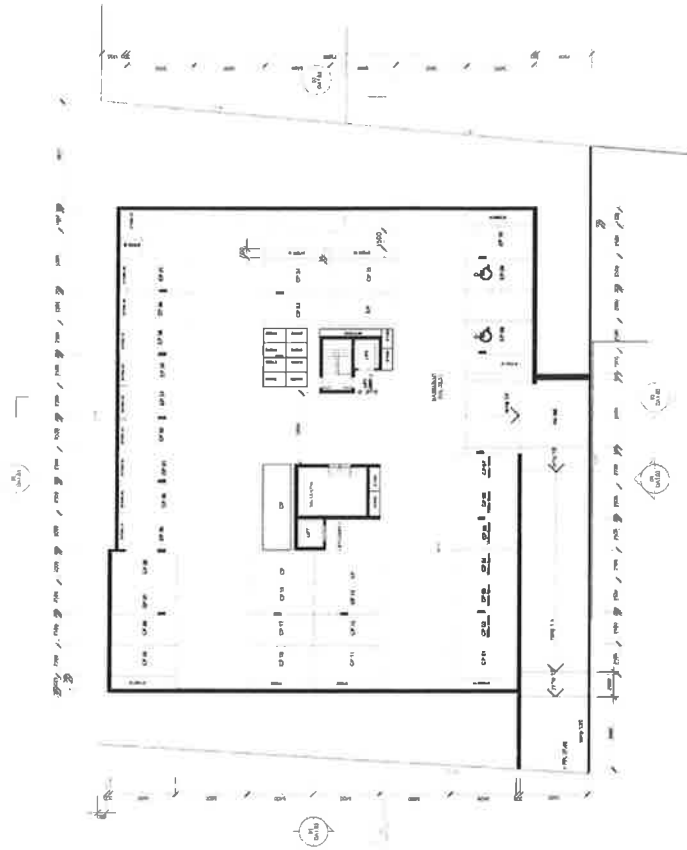
Site area = 2058 SQ.M.
FSR (LEP) = 0.8:1
Maximum GFA permitted by LEP = 1670 SQ.M.
Proposed GFA = 2292.4 SQ.M.
Proposed GFA at FSR = 1.1:1
GFA bonus sought under ARH SEPP = 4.1 - 0.8 = 0.3
GFA bonus sought under ARH SEPP = 4.1 - 0.8 = 0.3
Minimum GFA to be dedicated as affordable rental housing = 30%
Proposed Affordable area = 717.2 SQ.M.
29.57/1670 x 100 = 1.8%



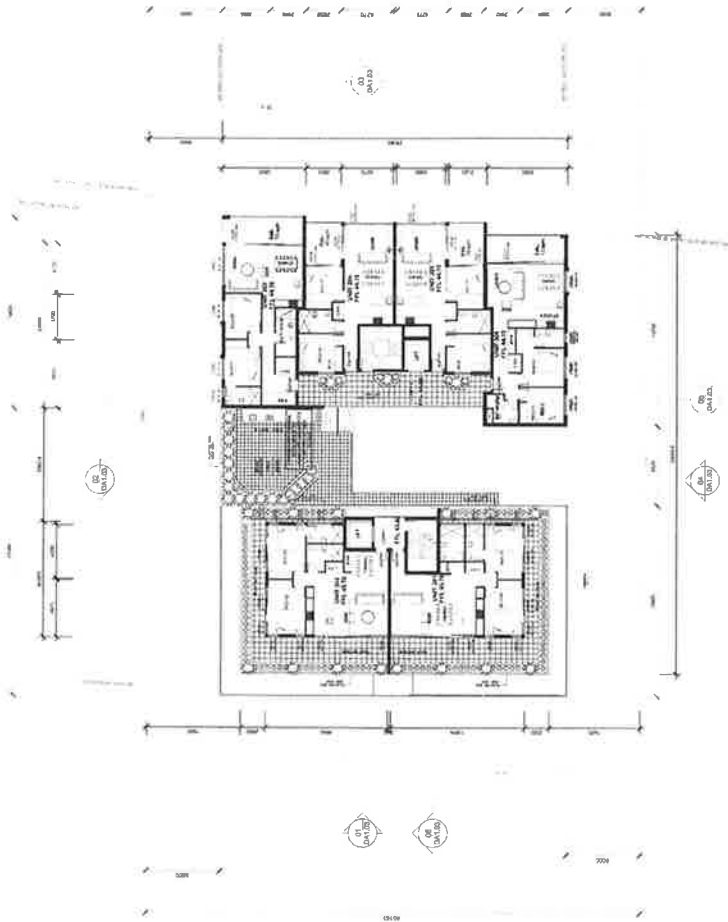
2 FIRST + SECOND FLOOR PLANS
Scale: 1:200



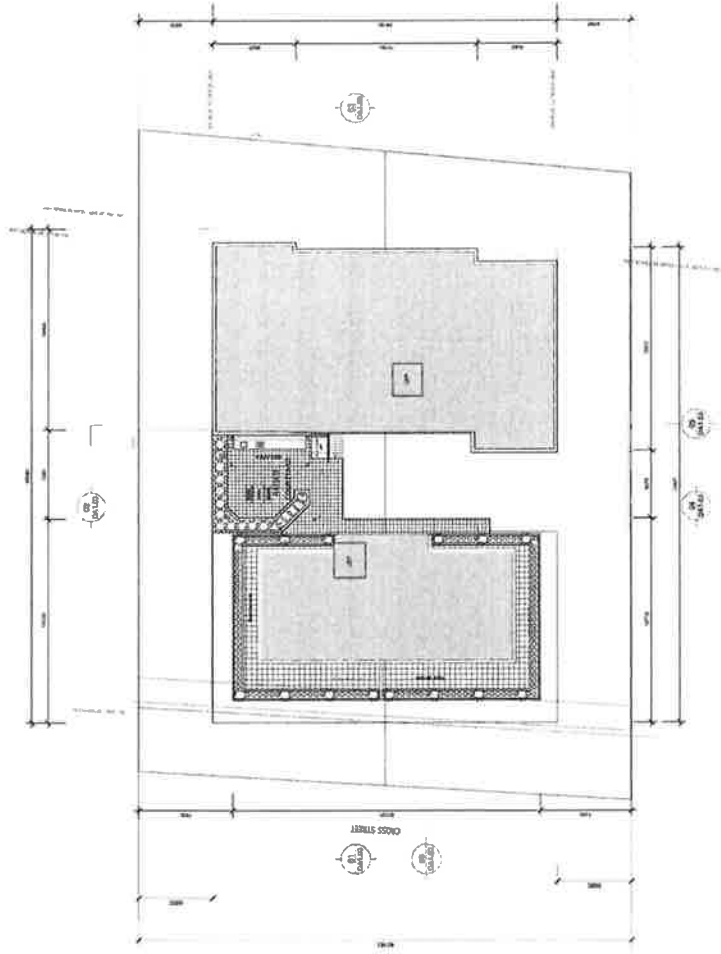
PROJECT INFORMATION		DEVELOPMENT APPLICATION		GROUND, FIRST & SECOND FLOOR PLANS	
DATE	DTA: S	DATE	DTA: S	DATE	DTA: S
A	21/07/15 DA Submission Revision A	A	21/07/15 DA Submission Revision A	A	21/07/15 DA Submission Revision A
B	20/10/15 DA Submission Revision B	B	20/10/15 DA Submission Revision B	B	20/10/15 DA Submission Revision B
C	12/11/15 DA Submission Revision C	C	12/11/15 DA Submission Revision C	C	12/11/15 DA Submission Revision C
D	09/12/15 DA Submission Revision D	D	09/12/15 DA Submission Revision D	D	09/12/15 DA Submission Revision D
E	24/03/16 DA Submission Revision E	E	24/03/16 DA Submission Revision E	E	24/03/16 DA Submission Revision E



2 BASEMENT FLOOR PLAN
Scale: 1:200

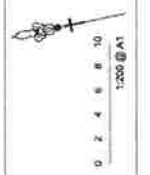


1 ROOF TOP AND THIRD FLOOR PLAN
Scale: 1:200



1 ROOF PLAN
SCALE: 1:200

NO.	DATE	DESCRIPTION
A	21/07/15	DA Submission Revision A
B	20/10/15	DA Submission Revision B
C	12/11/15	DA Submission Revision C
D	08/12/15	DA Submission Revision D
E	24/02/16	DA Submission Revision E

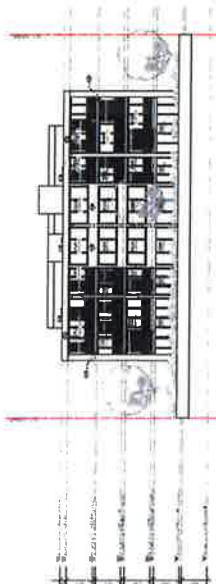


DEVELOPMENT APPLICATION			
DA/105	DA/105	DA/105	DA/105

DRAWING			
ROOF PLAN	DA/105	DA/105	DA/105
DATE	DATE	DATE	DATE
MARCH 2016	MARCH 2016	MARCH 2016	MARCH 2016



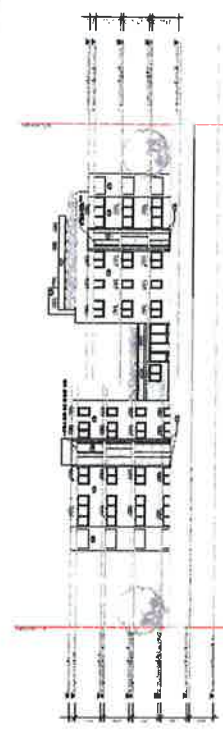
11 NORTH EAST ELEVATION
Scale 1/8" = 1'-0"



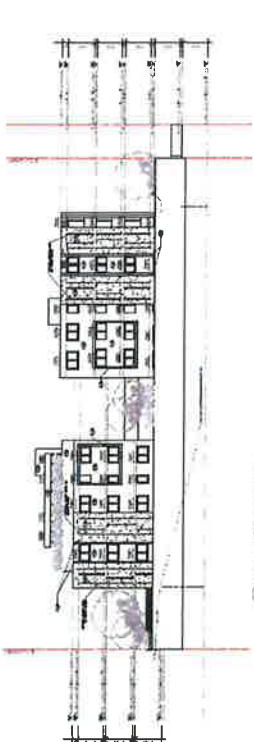
12 SOUTH EAST ELEVATION
Scale 1/8" = 1'-0"



13 WEST ELEVATION
Scale 1/8" = 1'-0"



14 NORTH EAST ELEVATION
Scale 1/8" = 1'-0"



15 SOUTH EAST ELEVATION
Scale 1/8" = 1'-0"



16 WEST ELEVATION
Scale 1/8" = 1'-0"

DATE	BY	CHKD	APPD
10/1/2011	J. Smith	J. Smith	J. Smith
10/1/2011	J. Smith	J. Smith	J. Smith
10/1/2011	J. Smith	J. Smith	J. Smith

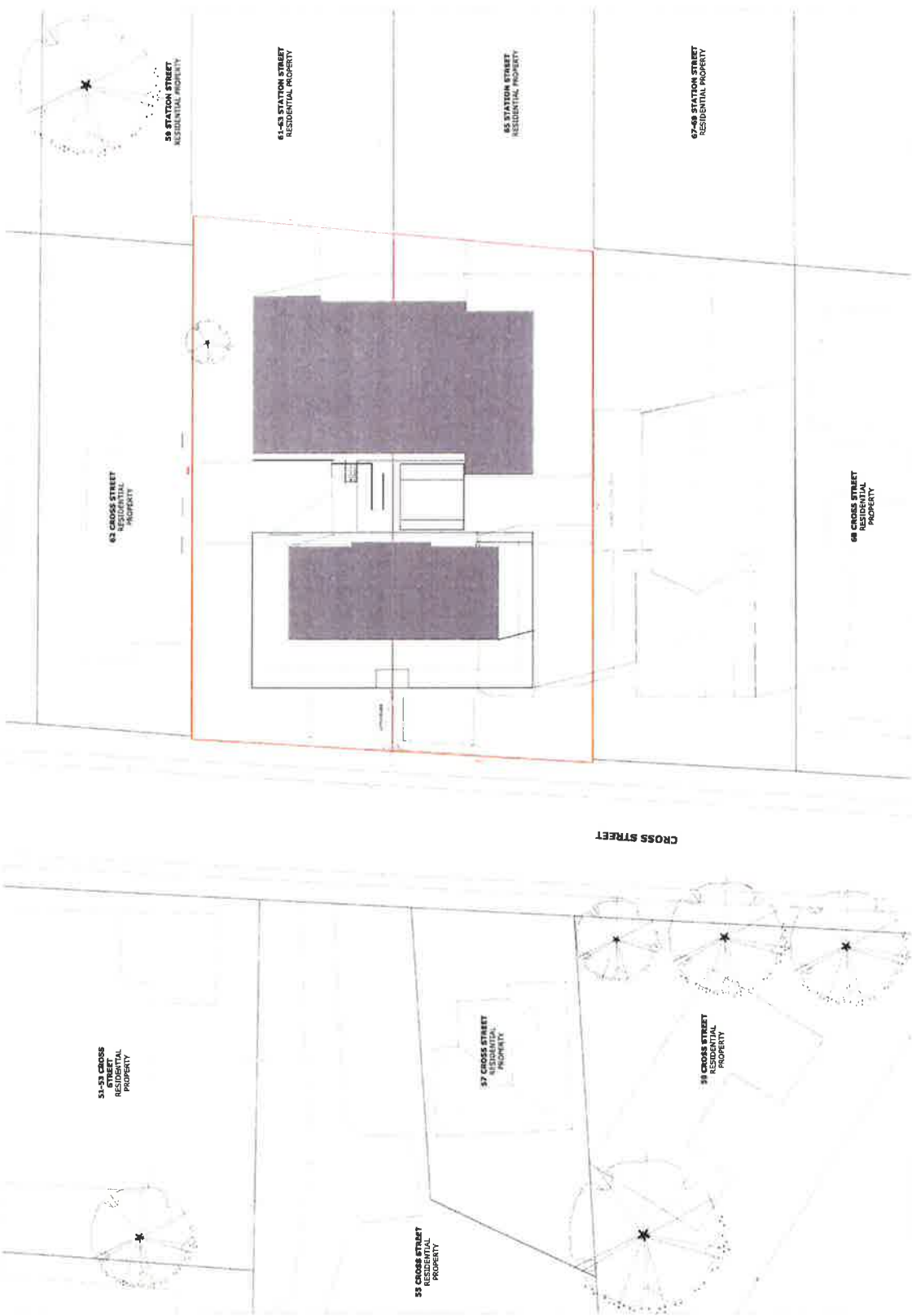
ere
Engineering & Architecture

REVISIONS	DATE	DETAIL
1	10/1/2011	Initial Design
2	10/1/2011	Revised Design
3	10/1/2011	Final Design



DATE	BY	CHKD	APPD
10/1/2011	J. Smith	J. Smith	J. Smith
10/1/2011	J. Smith	J. Smith	J. Smith
10/1/2011	J. Smith	J. Smith	J. Smith

DATE	BY	CHKD	APPD
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10/1/2011	J. Smith	J. Smith	J. Smith
10/1/2011	J. Smith	J. Smith	J. Smith



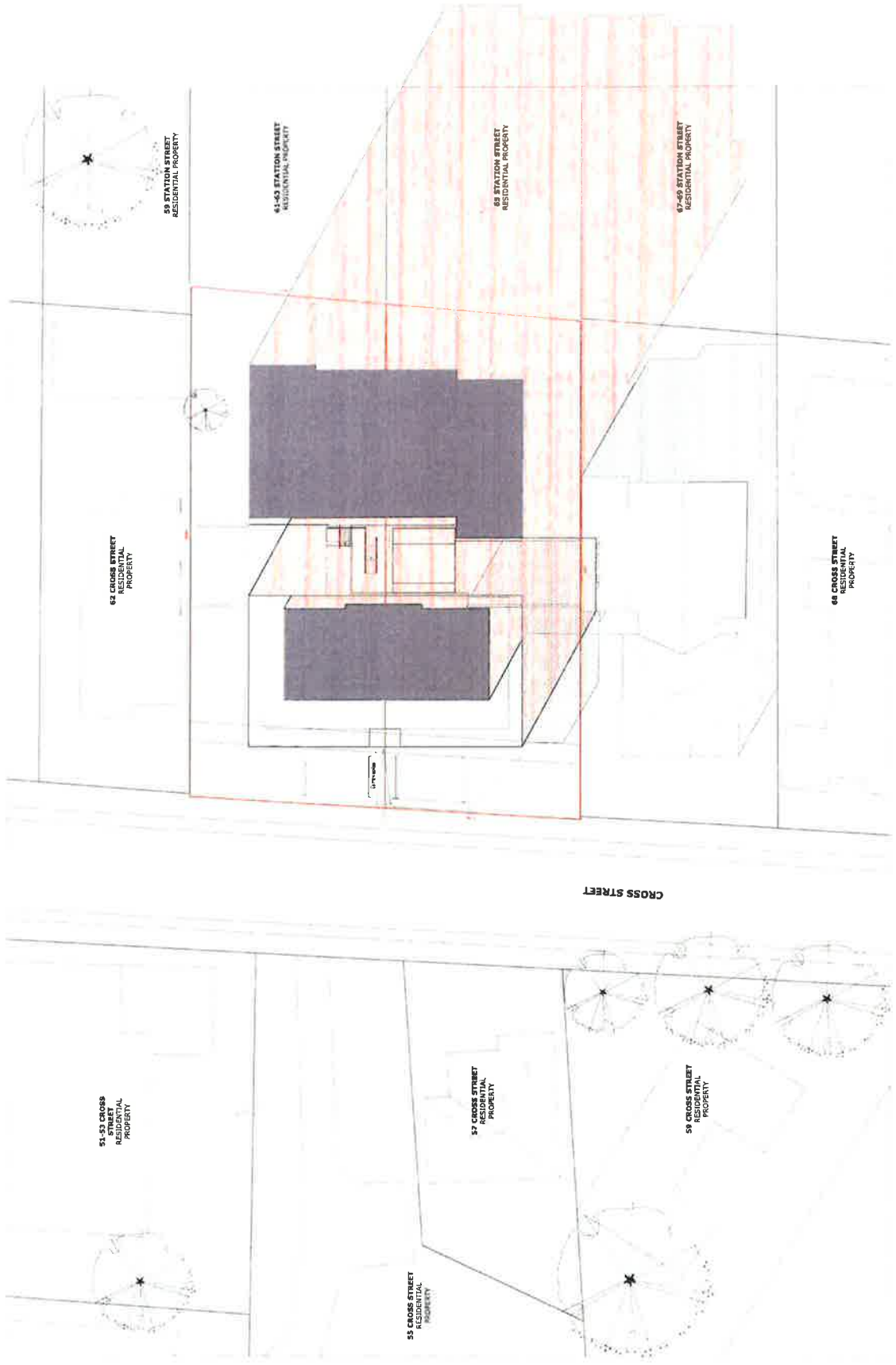
☐ METRIC SHADOWS
☐ PROPOSED SHADOWS

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1:200 @ A1

DATE	DETAILS
A	20/06/15 CONSULTANT ISSUE
B	30/06/15 CONSULTANT ISSUE B
C	07/07/15 CONSULTANT ISSUE C
D	24/03/16 DA RESUBMISSION

NO.	DATE	BY	DATE	ISSUE
1	24/03/16	CH	MARCH 2016	L

DRAWING	TITLE
SHADOWS 21st June - 12 noon	DRAWING NO
DA 1.08	DA 1.08



DATE: 10/06/15
DRAWING NO: DA1.00
SCALE: 1:200 @ A1

DATE: 10/06/15
DRAWING NO: DA1.00
SCALE: 1:200 @ A1

DATE: 10/06/15
DRAWING NO: DA1.00
SCALE: 1:200 @ A1

DATE: 10/06/15
DRAWING NO: DA1.00
SCALE: 1:200 @ A1

DATE: 10/06/15
DRAWING NO: DA1.00
SCALE: 1:200 @ A1



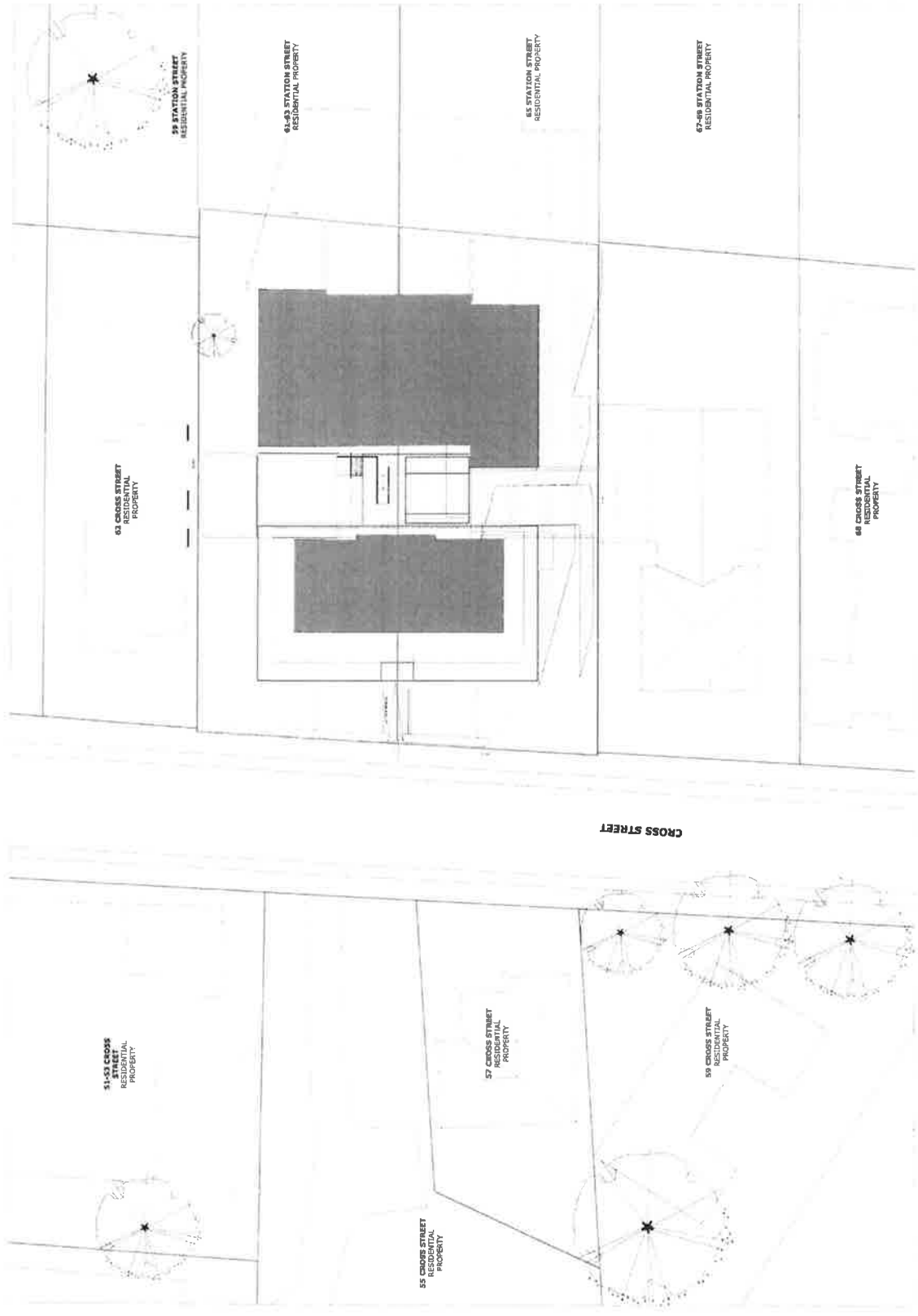
☐ EXISTING SHADOWS
☐ PROPOSED SHADOWS
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A	08/04/15	CONSULTANT ISSUE
B	30/04/15	CONSULTANT ISSUE B
C	07/07/15	CONSULTANT ISSUE C
D	24/03/16	DA RESUBMISSION

DRAWING
 SHADOWS 21st March - Sun
 DRAWING NO.
 DA1.10

3	WAWW, JP	CH	15/04/16
			MARCH 2016
































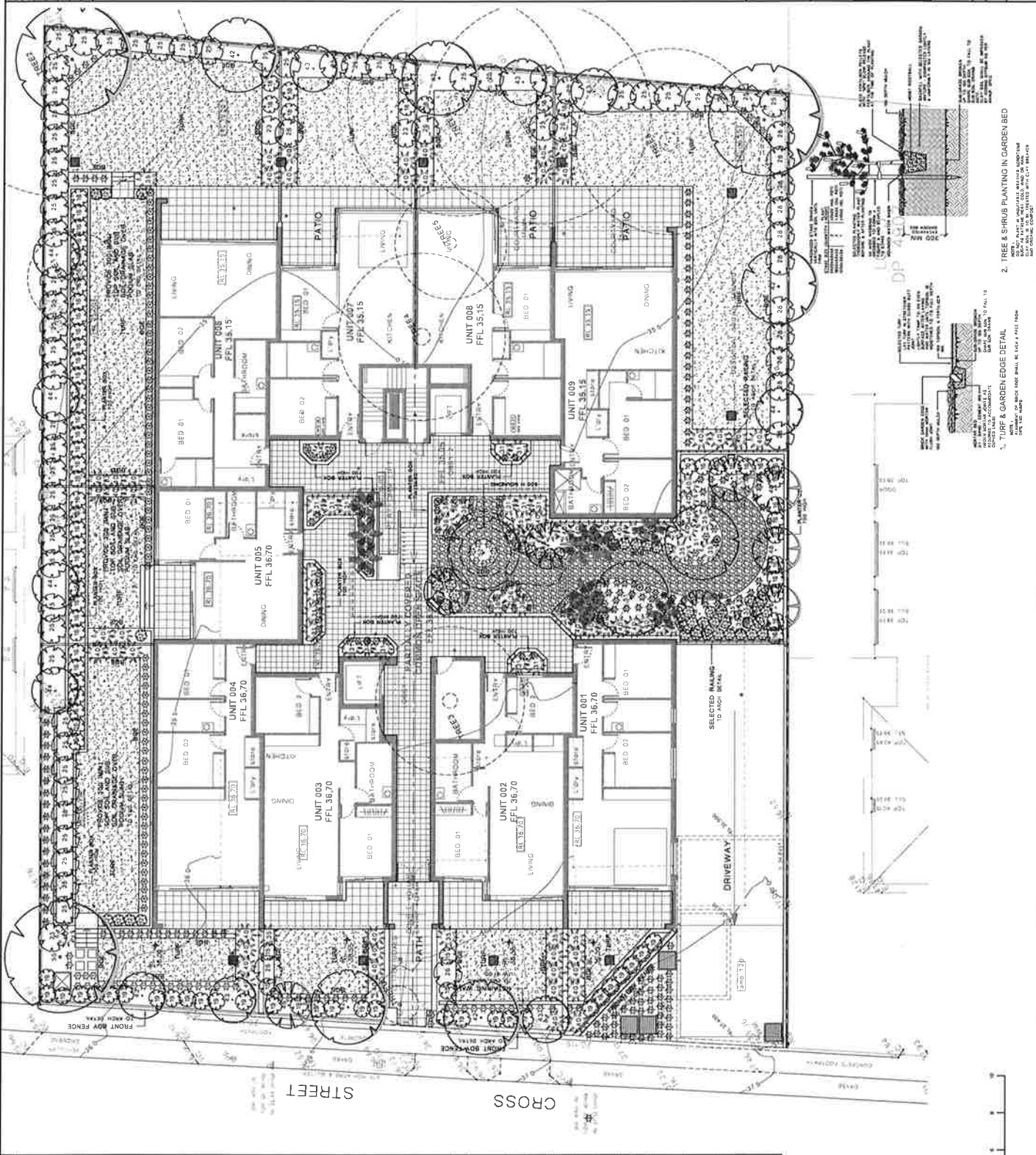
☐ LISTING PHOTOS
☐ PROPOSED SHADOWS
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REVISIONS	
A	09/06/15 CONSULTANT ISSUE
B	30/06/15 CONSULTANT ISSUE B
C	07/07/15 CONSULTANT ISSUE C
D	24/07/15 DA RESUBMISSION

DRAWING
 P.L.L.
 SHADOWS 23rd September - 3pm
 DRAWING NO
 DAT 15
 DEVELOPMENT APPLICATION

DATE	DATE	DATE
15/03/2016	15/03/2016	15/03/2016
CH	CH	CH
CH	CH	CH

LEGEND / FINISHES SCHEDULE	
EXISTING WL	EXISTING TRAIL TO BE REMOVED
	EXISTING TRAIL TO BE RETAINED
	PROPOSED LINES SHOWN AS DROPPED (NO PLANT SCHEDULE) (REFER TO PLANT SCHEDULE)
	SELECTED BRICK GARDEN EDGE
SIZE	UNION JACK
	SEALED WATERING
	RATIO / TERRACE / PAVN
	SELECTED TILES
	SELECTED LETTER BOX
	TO POST REQUIREMENTS
	SELECTED AUTOMATIC IRRIGATION
	WATERING WITH A PUMP
	NEEDED PATH LIGHT
	SEALED WATERING
	TO IRRIGATE DETAIL
	SELECTED CONC. DRIPPING DROPS
	
	
	
	
	
	
	
	
	
	
	
	
	

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